



TOWN BOARD REGULAR MEETING AGENDA

Location: Hybrid
South Metro Fire Protection District Station #42
7320 South Parker Road

Or

[Meetings | Town of Foxfield \(colorado.gov\)](https://www.colorado.gov/townoffoxfield/meetings)

Thursday, March 20, 2025: 6:30 p.m.

Call to Order

1. Pledge of Allegiance
2. Roll Call of Board Members
3. Audience Participation Period (limit 4 minutes per speaker)
4. Consent Agenda
 - a. Approval of Minutes – February 20th, 2025
 - b. Financials February 2025
5. Public Hearing
 - a. 17022 E Fremont Ave Variance Request
6. For Possible Action
 - a. Resolution 2025-02 Directing That Ordinance No. 2023-01 Be Published Consistent With CRS § 31-16-105
7. Reports
 - a. Members of Town Board
 - b. Staff

8. Future Agenda Items

- a. Tunnel and sidewalk repairs
- b. MHFD public outreach
- c. Culvert Clean-up
- d. Land Use Code Final Draft
- e. Speed Mitigation
- f. Wards Discussion
- g. Home Rule
- h. Cherry Creek Tributaries Study
- i. Social Committee

9. Adjournment

EXECUTIVE SESSION: To hold a conference with the Town Attorney to receive legal advice on specific legal issues pursuant to C.R.S. § 24-6-402(4)(b) regarding pending and potential litigation.



BOARD OF TRUSTEES MEETING MINUTES

February 20, 2025

Call to Order

The meeting was called to order at 6:30 p.m. via Microsoft Teams.

1. Pledge of Allegiance

2. Roll Call

The following Trustees were present in person: Mayor Jones, Trustee Cockrell, Trustee Hodge, Trustee Pakanati.

Trustee Thompson and Trustee Schultz were present via Teams.

A quorum was present.

3. Audience Participation

Debby Farreau, 6818 S Richfield St, brought up the following:

- She received an email from a resident who served on the 4th of July committee last year asking what is going on this year and if there is a new committee. Con Frank volunteered to host the picnic at his house. She is going to check with other people that were on the committee last year to see if they are still interested.
- Ms. Farreau had a question on the minutes regarding the bump at Richfield. Karen will give an update in her report. Debby stated that Frank, who is interviewing for the trustee position, has put a lot of work into the gates.

4. Consent Agenda

- a. Mayor Jones moved to approve the Consent Agenda, with a second from Trustee Hodge. The motion passed unanimously.

5. For Possible Action

- a. Ward 2 Trustee Vacancy Appointment Interviews, Deliberations, and Vote
The Board interviewed two candidates for the open Trustee position, Camille Wigley and Frank Lawrence. The consensus was that both candidates are qualified and have much to bring to the Town. After discussion, a vote was taken, with Frank Lawrence receiving 4 votes and Camile Wigley receiving 2 votes.

6. For Discussion

a. Speed Mitigation

There is a general consensus among the Board of Trustees that speeding is an issue in Foxfield. It was agreed that the traffic data needs to be re-examined since the installation of the gates. The Board discussed contracting for a formal assessment. Next steps are to discuss the issue with the Traffic Engineer at SEH, research the cost and placement of speed humps and look into solar speed radar signs that flash the speed as cars go past.

7. Reports

a. Members of Town Board

- i. Mayor Jones noted a resident had inquired about volunteer opportunities for students. She asked Trustee Thompson about progress in painting the pedestrian tunnel. A neighbor reported that there are cigarette butts in the ROW along Buckley. She asked about the Community Clean-up Day. The mayor stated that a fact sheet had been put together by the floodplain committee.
- ii. Trustee Hodge noticed that the parking lot is finished at Foxfield Village Center. The Town Clerk was directed to send an email to residents letting them know the parking lot has been completed.
- iii. Trustee Pakanati noted that vehicular traffic is creating holes along the edges of the road on Waco adjacent to Our Lady of Loreto property. The Town Clerk will notify Terracare about this prior to them beginning their Spring work.

b. Staff.

i. Town Administrator Proctor

1. SEH has provided both short-term and long-term solutions for the bump on Richfield at Arapahoe Road and has requested bids for the work. Once the Board gets the bid, a determination will be made as to whether or not a long-term solution can be incorporated into the roads maintenance program or an emergency short-term solution will be attempted. Mayor Jones asked about concrete vs. asphalt and the county portion of Arapahoe Road; Trustee Thompson said one solution was to extend the concrete. Town Administrator Proctor asked for confirmation that the Board agrees the Master Plan is clear on the vision for the 16-acre parcel south of the fire station and a visioning session is not needed.

ii. Town Clerk Torres

1. Town Clerk Torres gave an update regarding Fire Mitigation that has been provided by the Fire Department.

8. Future Agenda Items

- a. Tunnel, sidewalk repairs
- b. MHFD public outreach
- c. Culvert Clean-up

- d. Land Use Code Final Draft
- e. Speed Mitigation
- f. Ward discussion
- g. Home Rule
- h . Cherry Creek Tributaries Study
- i. Social Committee
- j. 16-acre parcel visioning
- k. 4th of July Committee

9. Adjournment

Mayor Jones adjourned the meeting at 7:38 pm.



Monica Torres, Town Clerk



Lisa Jones, Town Mayor

Treasurer's Report

First Bank Checking			
Activity	Credit	Debit	Account Balance
Beginning Balance	-	-	\$ 47,156.91
Colo Interac - gate tags	\$ 32.00	-	-
Colo Interac - Gate Violations	\$ 250.00	-	-
Arapahoe County Use Tax	-	\$ 715.45	-
Business Licences	\$ 70.00	-	-
Special Liquor License	\$ 400.00	-	-
Core Electric - franchise fee	\$ 5,361.15	-	-
Metro Mayors Caucus	-	\$ 580.96	-
Storquest	-	\$ 97.00	-
Caselle - monthly support	-	\$ 383.00	-
Pinnacol	-	\$ 417.00	-
Microsoft Online email hosting	-	\$ 52.82	-
Microsoft Phone	-	\$ 15.26	-
Microsoft 365	-	\$ 99.99	-
CORE- Irrigation	-	\$ 23.87	-
CORE- Gate electricity Richfield	-	\$ 30.28	-
CORE- Gate electricity Fremont	-	\$ 31.55	-
CORE- Lewiston way lights	-	\$ 32.34	-
HPWC, PC - legal services	-	\$ 11,702.24	-
Terracare Assoc - public works	-	\$ 25,298.57	-
SEH-Engineering	-	\$ 4,321.00	-
SafeBuilt - building, CE, P&Z	-	\$ 6,630.96	-
Colorado Mediation & Resolution Service-Municipal Judge	-	\$ 150.00	-
17022 E Fremont Ave Escrow	-	-	-
ACWWA	-	\$ 79.53	-
CORE - 6806 S Parker Road lights	-	\$ 90.26	-
Transfer from Savings to Checking	\$ 215000.00	-	-
TextMyGov	-	\$ 3,000.00	-
Off Duty Management	-	\$ 499.50	-
Adobe	-	\$ 20.74	-
Arapahoe County Sherriff's Office	-	\$ 138,019.83	-
Colorado Municipal League	-	\$ 920.00	-
George Poggioli	-	\$ 92.35	-
Jeffrey Briar	-	\$ 300.14	-
Karen Proctor	-	\$ 5,761.42	-
Monica Torres	-	\$ 2,994.00	-
EFTPS	-	\$ 2,616.29	-
Ending Balance	\$ 221,113.15	\$ 204,976.35	\$ 42,442.57

February

Treasurer's Report

2025

ColoTrust General Fund

Activity	Credit	Debit	Account Balance
Beginning Balance	-	-	\$ 2,004,324.74
Sales Tax	\$ 50,206.64	-	-
Transfer to GF		\$ 35,000.00	
AC Property Tax	\$ 1,630.60	-	-
Cigarette Tax	\$ 57.78	-	-
Transfer from Open space to GF	\$ 1,121.81		
Transfer from CTF to GF	\$ 1,146.66		
Transfer from ARP to GF	\$ 1,167.00		
Transfer from GF to CTF		\$ 4,847.42	
HUTF Distribution	\$ 3,259.88	-	-
Public Service	\$ 1,819.20		-
Interest Income	\$ 6,948.45	-	-
Ending Balance	\$ 67,358.02	\$ 39,847.42	\$ 2,031,835.34

ColoTrust CTF Fund

Activity	Credit	Debit	Account Balance
Beginning Balance	-	-	\$ 16,567.61
Transfer from GF to CTF	\$ 4,847.42		-
Transfer CTF to GF	-	\$ 1,146.66	-
Interest Income	\$ 60.58	-	-
Ending Balance	\$ 4,908.00	\$ 1,146.66	\$ 20,328.95

ColoTrust Open Space Fund

Activity	Credit	Debit	Account Balance
Beginning Balance	-	-	\$ 291,533.79
Transfer from OS to GF		\$ 1,121.81	
Interest Income	\$ 1,000.63	-	-
Ending Balance	\$ 1,000.63	\$ 1,121.81	291,412.61

ColoTrust American Rescue Plan Fund

Activity	Credit	Debit	Account Balance
Beginning Balance	-	-	\$ 25,477.28
transfer to General fund		\$ 1,167.00	-
Interest Income	\$ 86.42	-	-
Ending Balance	\$ 86.42	\$ 1,167.00	\$ 24,396.70

2022 Town of Foxfield Sales Tax Revenue

Location	Nov Tax (Jan)	Dec Tax (Feb)	Jan Tax (Mar)	Feb Tax (Apr)	Mar Tax (May)	Apr Tax (Jun)	May Tax (Jul)	Jun Tax (Aug)	Jul Tax (Sep)	Aug Tax (Oct)	Sep Tax (Nov)	Oct Tax (Dec)	TOTALS
Colorado	35,322	25,179	18,488	23,894	27,061	22,707	21,535	18,366	21,373	17,317	17,534	16,310	265,086
Remote	12,097	7,822	8,154	11,229	17,329	18,912	18,539	9,342	11,280	10,096	9,500	14,780	149,080
FVC	23,767	18,843	15,448	18,191	10,044	10,627	8,637	17,200	22,278	18,142	17,887	18,659	199,722
Totals	71,185	51,843	42,091	53,314	54,434	52,245	48,711	44,908	54,931	45,555	44,922	49,749	\$ 613,887.62

2023 Town of Foxfield Sales Tax Revenue

Location	Nov Tax (Jan)	Dec Tax (Feb)	Jan Tax (Mar)	Feb Tax (Apr)	Mar Tax (May)	Apr Tax (Jun)	May Tax (Jul)	Jun Tax (Aug)	Jul Tax (Sep)	Aug Tax (Oct)	Sep Tax (Nov)	Oct Tax (Dec)	TOTALS
Colorado	18,032	17,726	15,741	21,479	17,504	19,576	20,521	24,972	16,358	22,882	23,518	20,217	238,526
Remote	11,157	10,836	9,389	10,254	9,137	9,814	10,219	9,738	10,138	13,692	37,948	12,476	154,799
FVC	21,366	17,696	15,181	12,957	13,369	14,164	13,845	17,690	23,338	18,077	17,088	16,572	201,344
Totals	50,555	46,258	40,310	44,691	40,010	43,553	44,585	52,401	49,834	54,651	78,555	49,266	\$ 594,668.90

2024 Town of Foxfield Sales Tax Revenue

Location	Nov Tax (Jan)	Dec Tax (Feb)	Jan Tax (Mar)	Feb Tax (Apr)	Mar Tax (May)	Apr Tax (Jun)	May Tax (Jul)	Jun Tax (Aug)	Jul Tax (Sep)	Aug Tax (Oct)	Sep Tax (Nov)	Oct Tax (Dec)	TOTALS
Colorado	28,432	18,598	17,046	27,273	23,107	18,861	20,127	22,784	27,680	21,615	21,790	27,737	275,051
Remote	11,302	10,141	10,135	9,679	10,679	11,411	12,774	9,325	10,667	10,467	9,620	11,035	127,235
FVC	15,739	12,391	11,505	14,993	12,117	11,819	10,185	12,233	11,346	10,948	12,695	12,409	148,381
Totals	55,473	41,130	38,685	51,945	45,903	42,091	43,086	44,342	49,693	43,030	44,106	51,181	\$ 550,666.14

2025 Town of Foxfield Sales Tax Revenue

Location	Nov Tax (Jan)	Dec Tax (Feb)	Jan Tax (Mar)	Feb Tax (Apr)	Mar Tax (May)	Apr Tax (Jun)	May Tax (Jul)	Jun Tax (Aug)	Jul Tax (Sep)	Aug Tax (Oct)	Sep Tax (Nov)	Oct Tax (Dec)	TOTALS
Colorado	25,568	24,992											50,560
Remote	11,742	9,066											20,809
FVC	12,896	11,917											24,814
Totals	50,207	45,976											\$ 96,182.78



TO: Town of Foxfield, Board of Adjustment
 FROM: Evan Wilson, SAFEbuilt Planner
 DATE: March 14, 2025
 SUBJECT: Staff Report – Variance Application: 17022 E Fremont Ave

CASE #			
BOA Date:	March 20, 2025	Planner:	Evan Wilson
		Phone:	720-788-7691
Location:	17022 E Fremont Ave Foxfield, CO 80016		
Applicant:	Patrick McMichael, Track Architecture	Owner:	Tim Gates
Address:	2265 Lawrence St Denver, CO 80205	Address:	17022 E Fremont Ave Foxfield, CO 80016

Case Summary	
Request:	Request for a variance to allow relief from roof slope requirements for a proposed detached accessory structure.
Project Description:	Section 16-2-50(d)(7) of the Town of Foxfield’s Municipal Code outlines standards stipulating that accessory structures should have a roof pitch of at least 4 in 12. The applicant is requesting a variance to allow the construction of an accessory structure with a flat roof to conform with the architectural style of the principal structure. The principal structure was built in 1979 and remodeled in 1990 to have a flat roof before the adoption of the current design standards.
Issues/Concerns:	<ul style="list-style-type: none"> • Design standards state that a roof pitch of less than 4 in 12 is noncompliant. • Owner wants the accessory structure roof to match the architectural style of the house. • The existing flat roof of the principal structure was constructed before adoption of current code standards.
Staff Recommendation:	Approval of a variance from the requirements of a 4/12 pitched roof for accessory structures.
Current Zone District:	RR (Large Lot Rural Residential)
Comp Plan Designation:	Residential (Rural)

Attachments for Review

- Exhibit A: Applicant’s variance application, narrative, plot plan, and site plan.

Background Information

Site Information

Site Size:	2.22 acres (96,988 square feet)
Current Conditions:	Owner-occupied single-family home
Existing Right-of-Way:	E Fremont Ave
Existing Buildings:	Site contains one single-family home
Buildings to Remain?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> NA
Site in Floodplain?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Surrounding Properties

	<u>Existing Land Use</u>	<u>Occupant</u>	<u>Zoning</u>
North	Residential	Residence – 17021 E Fremont Ave	RR
South	Residential	Residence – 16919 E Hinsdale Way	RR
East	Residential	Residence – 7211 S Quintero St	RR
West	Institutional	Residence – 16922 E Fremont Ave	RR

Site Map



Applicant's Request

The applicant requests the approval of a variance to allow the construction of an accessory structure with a roof pitch of less than 4 in 12. The proposed accessory structure is approximately 1,250 square feet in size and will be built in an architectural style comparable to the style of the principal structure. The existing architectural style is characterized by its use of flat roof lines, which are not currently permitted in the Foxfield municipal code. The purpose of this variance request is to allow for the construction of an accessory structure with a flat roof, thus allowing the property owner to match the architectural style of the principal structure.

Planning & Zoning Staff Analysis

Section 16-2-50(d)(7), which states "Accessory structures ... shall have a minimum [roof] pitch of 4 in 12.", is the standard from which the applicant seeks relief. The current design regulations for the Large Lot Rural Residential District (RR) require all accessory structures to have a pitched roof of at least 4 in 12. Currently, there are no roof pitch standards adopted for principal structures. The Town has architectural and development standards that control the design, placement, and aesthetics of accessory structures to ensure that new structures have limited impacts on neighboring properties. The Town's design standards require accessory structures to be similar in design, scale, and architectural details to other accessory structures.



Figure 1- Existing principal structure

Staff recognizes a hardship resulting from the 2017 adoption of development standards relating to building design for accessory structures which prohibits flat roofs. The adoption of the development standards for accessory structures came after the construction of the principal structure. The applicant seeks relief from this design standard to create architectural harmony between the principal and accessory structure.

The primary character of the adjacent area consists of solely residential properties (single-family residential structures with detached accessory structures). This proposal would not significantly alter the character of the neighborhood, as the proposed garage roof would match the existing flat roof of the principal structure on the property.

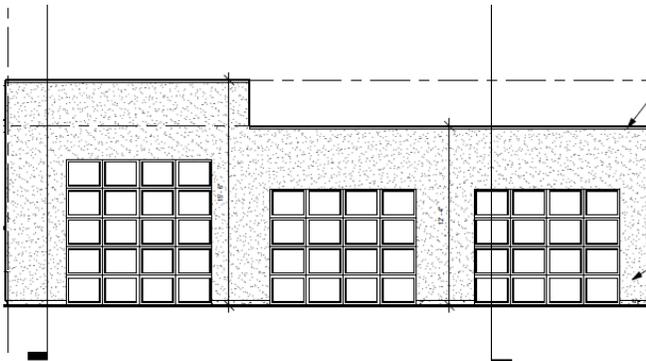


Figure 2 - Architectural drawing of proposed garage

This variance would not result in a change in zoning, and thus the proposal generally aligns with the Town of Foxfield Master Plan. Multiple provisions in the Master Plan encourage development that “enhance[s] and protect[s] the existing low density, single family, and rural character of the community” or that is “compatible with a rural character, in terms of land use, scale or other characteristics.” The proposed flat roof for the accessory structure would be in compliance with the Master Plan, as it aims to be compatible with the existing principal structure, thus preserving the character of the community.

If the variance is granted, the owner must still obtain the appropriate permit(s) from the Town of Foxfield for any future proposed site development. All future site development shall conform with all other applicable provisions and development standards of the Town of Foxfield Municipal Code.

Variance Criteria Analysis

BOA required criteria/findings: The property in question is subject to variance approval criteria found in Section 16-5-70 of the Town of Foxfield Municipal Code. Below is a staff analysis of each point:

Criteria Met?	Approval Criteria	Rationale
<input type="checkbox"/>	Section 16-5-70-(a)-(2)-(a) The applicant would suffer hardship as a result of the application of this Chapter, which hardship is not generally applicable to other lands or structures in the same zone district because of the unusual configuration of the applicant’s property boundaries, because of unique circumstances related to the location of existing structures thereon or because of the existence of exceptional topographic conditions thereon.	This property has a unique history in that it was originally built in 1979 with a mansard roof but was since remolded in its current architectural style in the 1990s. The current property owner purchased this property in 2001 before the adoption of current design standards that require a roof pitch of at least 4 in 12. The hardship results from the owner’s inability to build a garage that matches the architectural style of the principal structure. Due to this, the applicant seeks relief from the roof pitch standards.
<input type="checkbox"/>	Section 16-5-70-(a)-(2)-(b) There are no design alternatives or alternative locations for structures that would obviate the need for the requested variance or would reduce the amount of the variance required.	The accessory structure can be redesigned to fit the current roof pitch standards, but that would result in an accessory structure that does not match the architectural style of the principal structure, resulting in reduced visual harmony.
<input type="checkbox"/>	Section 16-5-70-(a)-(2)-(c) The enforcement of the provisions of this Chapter deprives the applicant of rights enjoyed by a majority of the other properties in	The applicant is currently unable to construct an accessory structure that matches that architectural style house of the property, whereas other individuals who have more pitched roofs are

Criteria Met?	Approval Criteria	Rationale
	the same zone district under the terms of this Chapter.	able to construct accessory structures that match the pitch of the principal structure.
<input type="checkbox"/>	Section 16-5-70-(a)-(2)-(d) The need for the variance does not result from the intentional, reckless or negligent actions of the applicant or his agent, a violation of any provision of this Code or a previously granted variance.	The requested relief does not result from intentional, reckless, or negligent actions of the applicant, as the flat roofline of the primary structure was created in the 1990s before the adoption of the current design standards.
<input type="checkbox"/>	Section 16-5-70-(a)-(2)-(e) Reasonable protections are afforded adjacent properties.	The granting of this variance request would allow for architectural harmony between the accessory and principal structure. This would benefit the neighborhood by preserving and allowing the continuation of the existing architectural style on the lot.
<input type="checkbox"/>	Section 16-5-70-(a)-(2)-(f) The requested variance will not cause an undesirable change in the character of the neighborhood or have an adverse effect on the physical or environmental conditions of the surrounding property.	The current character of the neighborhood is large lot single family development with accessory structures that seem to match the architectural style of the principal structures. If the variance were granted, then the neighborhood character can be maintained, as the proposed garage would match the architectural style of the house on the lot.
<input type="checkbox"/>	Section 16-5-70-(a)-(2)-(g) The variance is the minimum variance that will make possible the reasonable use of the land or structure.	The reasonable use of the land is outlined by the Comprehensive Plan and the Municipal Code through Chapter 16 – Zoning. The underlying zone district (RR) highlights the development of low-density, single family residential uses on large lots. The code also anticipates the development of accessory structures in conjunction with principal structures. This is the predominant development pattern in the neighborhood and town.
<input type="checkbox"/>	Section 16-5-70-(a)-(2)-(h) The granting of the variance will: <ol style="list-style-type: none"> 1. Observe the spirit of this Chapter; 2. Secure the public safety and welfare; 3. Ensure that substantial justice is done; and 4. Observe common sense. 	<ol style="list-style-type: none"> 1. For reasons stated above, the granting of the variance observes the spirit of the RR district. 2. This variance request will not adversely affect public safety or welfare. 3. This variance request is not providing remedy for an unjust condition. This is a simple request for a direct variation from the code. 4. This variance request observes common sense.

Planning & Zoning Staff Recommendation

Based upon the analysis above, staff believes the application meets the criteria for the granting of a variance, as set forth in Chapter 16-5-70 (a-h) of the Town of Foxfield Municipal Code, and recommends that the Board of Adjustment approve the applicant's request to construct an accessory structure with a flat roof at 17022 E Fremont Ave. This recommendation is provided in the context of the analysis of the approval criteria and rationale outlined above. With the exception of the flat roof, the proposed accessory structure meets all other design standards outlined in the Code.



EXHIBIT A

**APPLICATION FOR LAND DEVELOPMENT
TOWN OF FOXFIELD, COLORADO**

1. Applicant(s) Patrick McMichael
Track Architecture

Address 2265 Lawrence Street
Denver, CO 80205

Tel. _____

3. Location of property (address
or general location) 17022 East Fremont Ave.
Foxfield, CO 80016

5. Type of Request.

- ___ Rezoning: _____ Type
- ___ Subdivision (___ Prelim ___ Final ___ Replat)
- ___ Exemption X Variance (BOA)
- ___ Waiver ___ Vacation
- ___ PUD Rezoning
- ___ PUD Final Development Plan
- ___ Use by Special Zoning
- ___ Other

2. Property Owner (if different from Applicant)
Tim Gates

Address 17022 East Fremont Ave.
Foxfield, CO 80016

Tel. _____

4. Contact Person Patrick McMichael
Email address patrick@trackarch.com

6. Zoning Status

Existing Large Lot Rural Residential
Proposed Large Lot Rural Residential

7. Property Description

Address of Property 17022 East Fremont Ave.
Foxfield, CO 80016

Acreage 2.22

Existing Land Use Residential

Proposed Land Use Residential

Certification:

I (we) certify that the information and exhibits I (we) have submitted are true and correct to the best of my knowledge and in filing the application I (we) am acting with the knowledge and consent of those persons who are owners of the subject property or are parties to this application. I (we) agree to pay all costs pursuant to policies of the Town of Foxfield. I (we) am submitting a deposit with this application and understand that the deposit will be drawn on to pay the actual costs incurred by the Town in reviewing this application. I (we) further agree that I (we) will replenish the deposit as requested in a timely manner. I (we) agree that all materials required by the Town must be submitted before this application is considered for review for technical compliance by the Town.

Signature _____
(Applicant)

Signature _____
(Property Owner)

Date 01/13/25

Date 01/13/25

For Office Use Only

Date Application Referred _____

Review Hearing Date _____

Deposit Fees Paid \$ _____; \$ _____; \$ _____

Date _____; _____; _____

Comments

* * * * * * * * * * * *

_____ Approved _____ Denied

Resolution No. _____

Date _____

From: [Patrick McMichael](#)
To: [Travis Reynolds](#)
Subject: 17022 E. Fremont Ave. - Variance Request
Date: Monday, January 13, 2025 5:50:25 PM
Attachments: [Foxfield Land Use Application_17022 E. Fremont.pdf](#)

Travis,

The application is attached. If it looks correct, I'll send to the owner for signature. Does the narrative below suffice?

To Whom it May Concern,

This narrative is a variance request for secondary structure roof slope requirements for a proposed accessory garage.

The home was built in 1979, and was purchased by the current owner in 2001. It originally had a Mansard roof, but was remodeled in a contemporary Southwestern style sometime in the 90s. It has always had a flat roof, and Foxfield guidelines stipulate that outbuildings either match the architectural style of the house, or are traditional barn style. It is important that this accessory garage have a flat roof in order to integrate it with the house.

Regards,

Patrick McMichael, Architect

303.249.1154
patrick@trackarch.com



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Project Team

ARCHITECT

Track Architecture
2265 Lawrence Street
Denver, Colorado 80205

Patrick McMichael, Principal
patrick@trackarch.com
PH: 303.249.1154

STRUCTURAL ENGINEER

CLIENT/OWNER

Tim Gates
17022 East Fremont Avenue
Foxfield, Colorado 80016

ptgates@msn.com
PH:

CONTRACTOR

SHEET INDEX	
Number	Sheet

DELTA	
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STRUCTURAL	
S1.0	GENERAL NOTES

ARCHITECTURAL	
A0.0	ARCHITECTURAL SITE PLAN
A1.0	FLOOR PLAN
A2.0	ROOF PLAN
A3.0	REFLECTED CEILING PLAN
A4.0	EXTERIOR ELEVATIONS
A5.0	BUILDING SECTIONS

GENERAL NOTES

LICENSES & PERMITS

All work shall be performed under permit from all governing authorities and shall be inspected by their representatives and observed by the architect.

SAFETY

General contractor shall take responsibility for site safety. General contractor shall take all reasonable precautions for the safety of employees, subcontractors, occupants and the property itself. Observation visits to the site by the architect shall not include inspections of the safety measures or the construction procedures required for same.

SITE DEBRIS

During demolition and/or construction, the general contractor shall keep the site clean and free of debris. At job completion, site shall be clean and all byproducts of construction shall be removed promptly.

VERIFICATION

Owner and/or general contractor shall verify all dimensions, specifications, and conditions on these drawings prior to and during construction. Any discrepancies, omissions or errors in the drawings, or any discrepancy whatsoever between drawings, specifications and/or existing conditions, or any obstacle to work performance as described in the drawings shall be brought to the attention of the architect for correction prior to commencing work. Failure to notify the architect within ten (10) days of the date of the drawings shall constitute final acceptance of the drawings. Any changes made after acceptance of the drawings shall release the architect from any future responsibility/liability.

INSURANCE

General contractor and all subcontractors shall carry contractor's liability insurance (personal and property) and workman's compensation meeting minimum Colorado requirements, and shall provide proof of same upon request.

DIMENSIONS

Written dimensions on these drawings shall take precedence over scaled dimensions. All dimensions are to framing for new walls, finish to existing walls. Do not scale these drawings.

CONSTRUCTION METHOD

The contract drawings and specifications shall represent the finished structure. Unless otherwise shown, they do not indicate the method of construction. The contractor shall supervise and direct the work and be the solely responsible for all construction means, methods, techniques, sequences and procedures.

COMPLIANCE

All work by the contractor shall comply with and be in accordance with all federal, state and local codes and agencies having jurisdiction, as well as soils test information and soil engineer's recommendations.

WORKMANSHIP

In all cases, representatives of the general contractor experienced and skilled in their trade shall perform the work. The owner has established the highest level of quality and workmanship as a goal in all areas of this project and reserves the right to refuse work not up to these standards or manufacturers' installation requirements. General contractor shall coordinate, supervise and take responsibility for all work of his representatives.

INSPECTIONS

General contractor and/or subcontractor shall be responsible for all necessary inspections as well as schedule for same.

CHANGES & NOTICE OF CHANGE OR DISCREPANCY

Owner and general contractor shall negotiate additions, deletions, or revisions to the scope of the work. A written record shall be kept by general contractor for final accounting, and the contract sum shall be adjusted accordingly. The architect shall receive prompt written notice of all pending changes. Release of these plans contemplates further cooperation among owner, general contractor and the architect. Design and construction are complex. Although the architect and his/her consultants have performed their services with due care and diligence, they cannot guarantee perfection.

Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes.

ARCHITECT'S ROLE

The architect's sole function shall be to act as the owner's agent in making periodic site visits, as requested by the owner to observe whether the work is proceeding according to the contract drawings and specifications. Support services performed by the architect, if any, whether of material or work, and whether performed prior to, during or after completion of construction shall be performed solely for the purpose of assisting in quality control and in achieving conformance with the contract drawings and specifications. They do not guarantee contractor's performance and shall not be construed as supervision of construction.

DESIGN

Copyright 2024. Drawings and design concept are property of Track Architecture, LLC and any use of said drawings and/or content for any other project, without written consent from Track Architecture, LLC is strictly forbidden by law.

RESIDENTIAL GUIDELINES

- As-built setback verification form required on site if proposed structure is within 1'-0" (305 mm) one foot) of zone district setback. Surveyor must verify when forms are in place, before concrete is poured.

- Provide a 6'-0" (1829 mm) fence around construction site (plastic not allowed).

- Separate permits required for permits listed below.

Air Conditioner Units	Exhaust fans (kitchen or bath)
Range Hood Vents	Furnace and Ductwork
Fireplaces, Gas Logs & Decorative	Fuel Fired Appliances
Water Heater	Gas Piping
Electrical Work	Fencing - Zoning only, 1R required if over eight (8) feet in height
Plumbing	Retaining Walls over three (3) feet requires R1
Roofing	

- Concrete foundation walls shall extend above the finished grade adjacent to the foundation at all points a minimum of four (4) inches (102 mm) where masonry veneer is used and a minimum of six (6) inches (152 mm) elsewhere per R404.1.6

- Shoring / Excavation: No excavation for seven (7) days after the Shoring has been installed at which time a letter of Observation will be presented to the Construction Inspector.

- Shoring / Excavation: When not located within one foot of property line. As-Built Setback Inspection required before the foundation is poured. Use the automated inspection request line with code #115 "Setback" for Construction Permits.

- Foundation Excavation per direction of licensed Soils Engineer. Stamped engineer's report shall be on site at time of Foundation Inspection. Excavation cuts and open pits shall comply with ADMIN. 130.2.A. Protect excavation per direction of licensed Soils Engineer. P.E.'s report shall be on site at time of excavation per DBCA R401.

- Observation and a report of the foundation installation by the Engineer of Record is required for all new single family dwelling and duplexes.

- Caisson and drilled pier installation - submit one copy of the P.E. report to the Building Inspector, per DBCA Section 141.2.

- Perimeter drain required per Soils Report & Section R401.4 & R405.1. Submit one original stamped P.E. Inspection report for installation of perimeter drain accordance with soils report required by DBCA, Section 401 and Section 405.1 & R405.2.3.

- Provide damp-proofing at all foundation and basement concrete walls to comply with the soils report or R406.

- Provide adequate lot surface drainage to comply with Section R401.3.

- Finished grade shall slope away from structure 6" for the first 10' (5%) or swales or drains shall be provided to prevent drainage onto adjacent properties per R401.3.

- Patio and porch concrete slabs shall slope away from structures a min. of 1-2%.

- Contact Neighborhood Inspection Services for Bulk Plane Inspection before exterior sheathing installation, 720-865-2501, Code 114.

- Walls within five (5) feet of a property line shall be one-hour fire-rated construction. One-hour rating for "exposure from both sides" (Table R302.1) means one layer of 5/8" Type X gyp board on both sides of studs (UL30S), OR one layer 5/8" Type X gyp board on the interior side and minimum 7/8" stucco over sheathing on the exterior, (IBC Table 721.2.1.4(1)).

- Eaves or overhangs located within five (5) feet of a property line shall be one-hour fire-rated construction, meaning two layers of 5/8" Type X gyp board on the underside of the eaves (GA assembly RC2501 or RC2602). No soffit vents allowed on those eaves. No overhangs or projections are allowed within two (2) feet of the property line (Table R302.1).

- Garage vehicle door openings shall be framed to comply with bracing requirements or R602.10.4.

- Decks attached to an exterior wall of a structure shall be supported by the ledger complying with the requirements of R507.2 for ledger and connection design, deck design and lateral load connections by hold-down tension devices in at least two locations with an allowable stress design capacity of min. 1500 lbs each per R502.2.2.

- Anchor bolts to comply with Section R403.1.6. One (1) inch (13 mm) bolt embedded at least 7 inches (178 mm) into concrete or masonry to be installed every six (6) feet (1829 mm) & minimum of two (2) bolts per plate section with one (1) bolt located not more than 12 inches (305 mm) or less than seven (7) bolt diameters from each end of the plate section.

- Every sleeping room shall have at least one operable emergency escape and rescue opening, in accordance with Section R310.

- Room sizes shall comply with Section R304.1.

- Provide a minimum of three (3) feet (914 mm) width for halls & corridors in accordance with Section R311.6.

- Egress windows shall have a minimum operable area of 5.7 square feet (.530 square m), 20 inches (508 mm) min. clear width, 24 inches (610 mm) min. clear height, in accordance with Sections R310.1, R310.1.1, R310.1.2, & R310.1.3. Where emergency escape / rescue windows are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor.

- Stair construction shall comply with the requirements of Section R311.7. Provide a minimum clear width of 36 inches, a maximum rise of 7 3/4 inches and a minimum run of 10 inches. Provide a minimum of 6" headroom from the nose of the tread to the ceiling, soffit, or any projection above per Section R311.7.2. Winder Stair: Min. 10 inch treads at the walkline of 12 inches from the narrow side. Minimum 6 inch tread at any point. Maximum 3/8" variation in tread width per R311.7.5.2.1. Open Risers: Maximum height of 4 inches per R311.7.5.1. Spiral Stairs: See R311.7.10.1. Landings shall comply with Sections R311.3 (doors) & R311.7.6 (stairs).

- Enclosed area under stairs is to be separated with 1/2 inch (12.7 mm) gyp board on walls and underside of stairs per Section R302.7.

- Open sides of stairways shall have guards / hand rails & the height shall be 34 inches (864 mm) to 38 inches (965 mm) above the nosing of the tread. Hand rails shall not be less than one (1) inch (38 mm) from wall. The ends of the hand rails shall be returned into wall, or shall terminate in new posts or safety terminals, in accordance with Section R311.7.8.2. Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers per R311.7.8.

- Guardrails shall comply with Section R312 and be a minimum of 36 inches (914 mm) in height, except a minimum height of 34 inches is allowed on open sides of stairs. Guards shall not have openings which allow passage of a 4 inch (102 mm) diameter sphere except at open sides of stairs guards shall not have openings which allow passage of a 4 3/8 inch (111 mm) diameter sphere.

- Glazing subject to human impact shall comply with R303.3. Glazing in hazardous locations as defined by R308.4 shall comply with requirements for safety glass.

- Operable window openings more than 72 inches above grade or surface below and less than 24 inches above finish floor shall have a fall prevention or opening limitation device if a 4 inch sphere can pass through the opening per R312.2.1.

- Bathubs & shower floors, walls above bathtubs with installed showerheads and in shower compartments, shall be finished with non-absorbent surface, not less than six (6) feet (1829 mm) above floor, in accordance with Section R307.2. Minimum fixture clearances shall comply with Figure R307.2. Minimum fixture clearances shall comply with figure R307.1. Hinged shower doors shall open outward and the opening shall have a minimum clear and unobstructed finished width of 22 inches in accordance with Section P2708.1.

- Compliance with Section R502.4 is required. Bearing partitions perpendicular to joists shall not be offset from the supporting girder, walls or partitions more than the depth of the joists. Provide stamped calculations other wise & demonstrate the resulting deflection is not more than L/960.

- Fasteners for structural member to comply with Table 602.3(1) & (2).

- Provide smoke alarms in accordance with Section R314. A room called a Study, Office, Loft, Studio, etc. with a closet shall have a smoke alarm (potential bedroom / sleeping area). Recessed stairwells shall have a smoke alarm at its highest point.

- Provide carbon monoxide alarms. Colorado House Bill 09-1091 - Notwithstanding any other provision of law, every dwelling that includes either fuel-fired appliances / replacements, or an attached garage where on or after July 1, 2009, interior alterations, repairs, or additions, any of which require a building permit, occurs or where one or more rooms lawfully used for sleeping purposes are added shall have an operable carbon monoxide alarm installed within fifteen feet of the entrance to each room lawfully used for sleeping purposes or a location as specified in any building code adopted by the state or any local government entity.

- All habitable rooms and spaces shall have natural light and ventilation complying with requirements of R303.1. Natural lighting shall be a minimum 8% of the floor area and natural ventilation shall be 4% of the floor area. In lieu of this, artificial lighting and mechanical ventilation shall be installed that complies with R303.1, Exceptions 1, 2, & 3.

- Garages shall be separated from dwellings in accordance with Section R302.6. Penetrations through the garage wall to the dwelling shall have fire protection per R302.5.3 and R302.11.

- Automatic garage door openers, if provided, shall be listed in accordance with UL 235 per R309.4.

- Doors between garages and dwellings to comply with IRC, Section R302.5.1: 1 3/8 inch (35 mm) minimum thickness solid wood or honeycomb core steel doors, or 20-minute fire rated, tightly fitting.

- An attached garage shall have minimum 1/2 inch gyp board on the garage side of the walls separating the dwelling and garage. Minimum 5/8 inch Type X gyp board at garage ceilings below habitable space, and all walls minimum 1/2 inch gyp board per R302.6.

- Required egress door shall provide direct access from habitable portions of the building to exterior without traveling through garage. The required egress door shall be side hinged and have minimum clear dimensions of 32 inches (914 mm) X 78 inches (2032 mm) in accordance with Sections R311.1 & R311.2.

- Provide natural or mechanical ventilation to bathrooms and water closet compartments in accordance with R303.3 and M1507.1.

- Provide 5/8 inch gyp board on all ceilings with joists spaced more than 16 inches o.c., per Table R702.3.5.

- Energy efficiency (insulation, air-infiltration barrier, etc.) for new habitable space shall comply with Sections N1101 to N1104. Per N1101.2, compliance shall be demonstrated by either meeting the requirements if the International Energy Conservation Code or meeting the requirements of the IRC Chapter 11. Alternatively, per DBCA N1101.2, results from a code compliant software program such as REScheck (TM), can be utilized to show compliance.

- Storm and screen doors shall be permitted to swing over all exterior stairs and landings per R311.3.3.

- Ramps shall have a maximum slope of one (1) unit vertical in 12 units horizontal (8.3 percent slope) per R311.8.1. Exception: due to site constraints, ramps may have a maximum slope of one (1) unit vertical in eight (8) horizontal (12.5 percent slope). Ramps shall comply with handrail and landing requirements per 311.8.3 and R311.8.2.

- Foam plastic insulation to comply with Section R316.

- HVAC supply ducts in attics or outside the building's thermal envelope shall have min. R-8 insulation, and all other ducts shall have min. R-6, per N1103.3.1.

- Insulation in existing undisturbed habitable space must be at least R-11 in the walls and R-19 in the ceiling or rafters.

- Provide cross ventilation to all attic spaces. When ceiling is applied to the underside of roof rafters cross ventilate each rafter space in accordance with Section R806.

- Stucco / exterior cement plaster installation shall comply with R703.7.2, with weep screens as required by R703.6.2.1. For all types of stucco over wood framing, provide two layers of "Grade D" paper on the exterior surface of the exterior wall in accordance with Section R703.7.2.1.

- EFS systems shall terminate not less than six (6) inches (152 mm) above grade, in accordance with Section R703.8.1.5. ICC-ES Evaluation Report to be on-site for inspection.

- Fiber-cement or composite siding shall comply with R703.10.

- All veneer such as brick, stone, etc. shall comply with R703.8. Apply one layer of 15# felt waterproof felt or building paper on the exterior surface of the exterior wall prior to installation of exterior finishes per R703.2.

- The installation of gutters & downspouts shall comply with Section R903.4 and the soils report provided for this project.

- Provide drainage at rooftop decks to comply with requirements of R903.

- Provide solid blocking below all posts at floor level. All posts shall be supported continuously down to solid bearing on a beam or foundation wall per Section R301.1.

- Side-loaded multiple LVL beams shall be fastened per manufacturer specifications.

- Welding to be performed by a certified welder.

- Roofs with a 2:12 or lower pitch / slope shall have a double layer of roofing underlayment per R905.2.2.

- On roof slopes from 2:12 to 4:12, an approved self-adhering polymer modified bitumen sheet can substitute for a double underlayment installation. DBCA R905.2.7 Exception.

- Kitchen hoods rated over 400 CFM shall be provided with a source of makeup air per Section M1503.4. Exhaust shall comply in accordance with Section M1507.3. Microwave ovens installed over kitchen ranges shall comply with Section M1504.

- Installation & location of warm air furnace shall comply with IRC, Section M1305.1.1, & Section G2406. Furnaces may be installed in attic space per Section M1305.1.3 and in crawlspace per M1305.1.4. Contact Chief Mechanical Inspector at 720-865-2560.

- Water heater location to comply with Section M2005.

- Water conservation is to comply with International Plumbing Code.

- All solid fuel burning appliances, masonry fireplaces, & zero clearance fireplaces are prohibited unless they comply with Revised Municipal Code, Chapter 4, Section 23624 for commission of solid particles or have a gas fired insert or gas log that is permanently attached to the fireplace, in accordance with Chapter 10 & Chapter 24. Fuel-fired appliances in bedrooms shall comply with Section G2406 to G2434. Contact Mechanical Inspectors.

- Clothes dryer exhaust ducts to comply with Section M1502.

- Provide fire blocking, in accordance with Section R302.11.

- Ridge board to comply with Section R802.3.

- Provide rafter connections to comply with Section R802.3.1.

- Provide draft stopping in accordance with Section R302.12.

- Truss calculations approved by the project engineer shall be on site for the framing inspections.

- Provide a block-out in the foundation for inspection of the grounded electrode wire connection to the rebar. If the connection to the rebar is included in the P.E. report of foundation, the ground wire can be attached to rebar stubbed out of the foundation in accordance with NEC, Section 250.52.

- Provide arc-fault circuit interrupter protection in accordance with NEC, Section 210.12.

- Public Works: Per revised Municipal Code 49-81 to 49-94, this project may require public right of way improvements. Contact Public Works Right of Way Services Construction Engineers at 303-448-3469.

- Mandatory minimum energy efficiency requirements of IRC Table N1102.1.2:

- | | | |
|--------|--|------------------------------|
| 75.1.1 | Window U-Factor: | .32 |
| 75.1.2 | Skylight U-Factor: | .55 |
| 75.1.3 | Exterior Framed Walls: | R-20 |
| 75.1.4 | Roof / Attic / Enclosed Rafters: | R-49 |
| 75.1.5 | Floors Cantilevered or over unconditioned space: | R-30 |
| 75.1.6 | Basement Concrete Walls: | R-10 Continuous |
| 75.1.7 | Basement Framed Wall Cavity: | R-15 / R-19 |
| 75.1.8 | Crawl Space Walls: | R-15 / R-19 |
| 75.1.9 | PT Slabs: | R-10, min. of 24 inches down |

- Building Thermal Envelope: The building thermal envelope shall be durably sealed to limit infiltration per 1102.4. A Tyvek wrap system will be used over structural engineering. The building thermal envelope shall comply with Sections R402.4.1.1 & R402.4.1.2. The sealing methods between dissimilar materials shall allow for differential expansion and contraction.

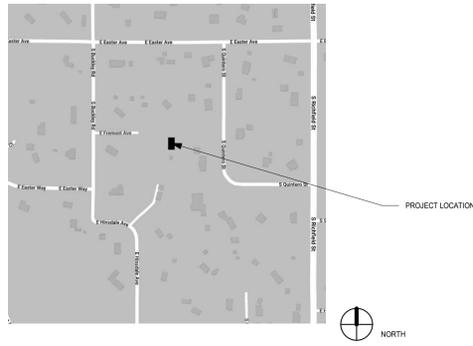
- Per R402.4.5, recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and un-conditioned spaces. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

- A permanent certificate shall be completed by the builder and posted on a wall in the space where the furnace is locate, a utility room or approved location inside the building, per Section R401.6 of the 2015 IECC. The certificate shall list predominant R-values of insulation installed in or on ceilings / roof, walls, foundation (slab, basement wall or floor) and required duct outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient of fenestration, and the results from any air ducts and duct system and building envelope air leakage testing done on the building.

- Per R402.2.4, access doors from conditioned spaces to unconditioned spaces such as attics and crawl spaces shall be weather-stripped and insulated to a level equivalent to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation.

- Refer to Table R402.4.1.1 for air barrier and insulation installation. Exposed earth in un-vented crawl space shall be covered with Class 1 vapor retarder with overlapping joints taped.

Vicinity Map



Issue Date

06/20/2024

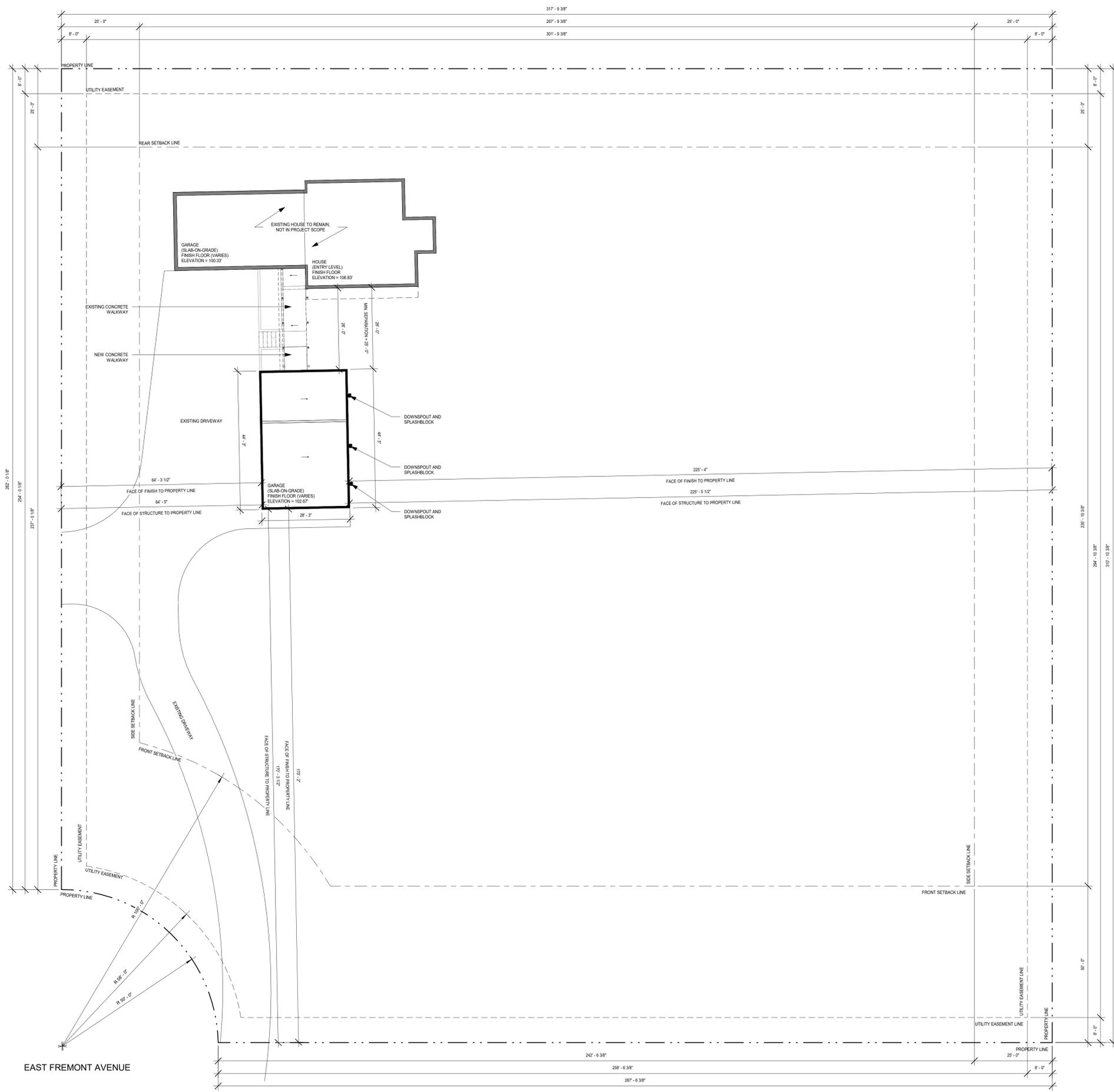
Project Name

NEW GARAGE

17022 EAST FREMONT AVENUE
FOXFIELD, COLORADO 80016

Issue Name

PERMIT SET



**PROPERTY ZONED: RR
LARGE LOT RURAL RESIDENTIAL**

GOVERNING CODES:
2015 INTERNATIONAL RESIDENTIAL CODE
FOXFIELD MUNICIPAL CODE - CHAPTER 16

ZONE LOT AREA = 96,866.37 S.F.

EXISTING HOUSE FOOTPRINT = 2,442.62 S.F.
NEW DETACHED GARAGE FOOTPRINT = 1,399.06 S.F.

EXISTING DRIVEWAY = 6,827.91 SF

TOTAL IMPERVIOUS FOOTPRINTS = 10,669.59 S.F.
TOTAL IMPERVIOUS COVERAGE = 11.01%

10669.59/96866.37 = .1101 or 11.01%
Maximum Allowed Building Coverage = 25%

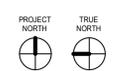
5 PARKING SPACES PROVIDED

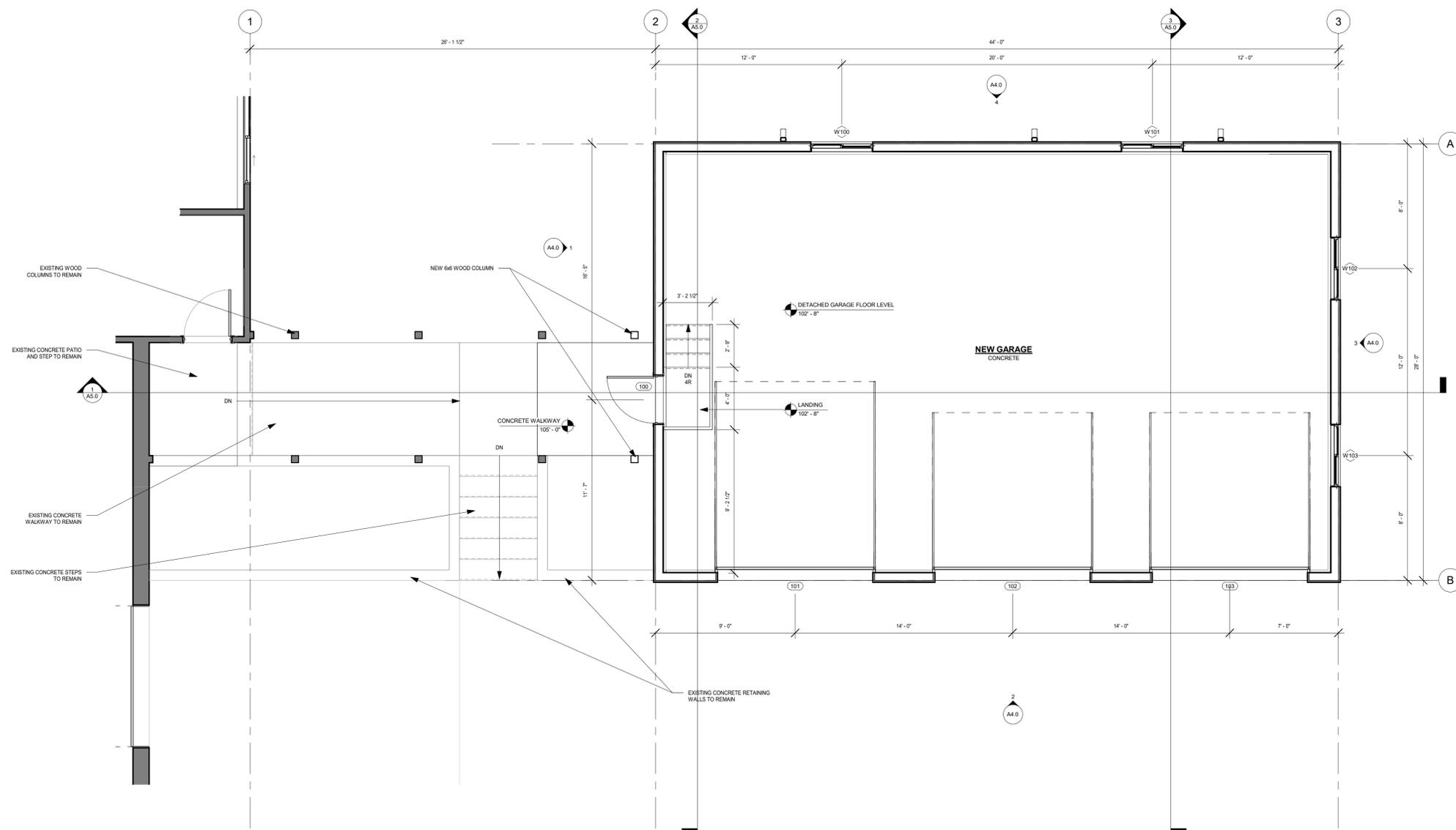
LEGEND:

- PROPERTY LINE
- UTILITY EASEMENT
- REQUIRED ZONE LOT SETBACKS
- EXTERIOR BUILDING FOOTPRINT (NEW)
- EXTERIOR BUILDING FOOTPRINT (EXISTING)
- ROOF LINE
- DOWNSPOUT



Project Number:	2023.027
Issue:	PERMIT SET
Date:	06/20/2024
Drawn By:	ZH
Checked By:	PLM
Revisions:	
No.	Date:





1 FLOOR PLAN
1/4" = 1'-0"

FIRST FLOOR NOTES:

- FIRST FLOOR FRAMING PLAN BY GENERAL CONTRACTOR, COORDINATE JOIST LAYOUT WITH PLUMBING AND ELECTRICAL FIXTURES.
- GENERAL CONTRACTOR TO PROVIDE OUTLET LOCATIONS AS REQUIRED BY CODE. COORDINATE EXACT LOCATIONS WITH OWNER.
- SOILS AND STRUCTURAL ENGINEERS TO BE PRESENT ON SITE AT TIME OF EXCAVATION TO VERIFY ANY REQUIREMENTS OF SHORING AND PROVIDE INFORMATION TO BUILDING DEPARTMENTS AS REQUIRED.
- ALL EXTERIOR WALLS ARE 2x6 WOOD STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
- PROVIDE 4" AT ALL DOOR JAMBS FOR TRIM UNLESS OTHERWISE NOTED OR DIMENSIONED.

WINDOW SCHEDULE											
Mark	Width	Height	Head Height	Sill Height	Type	Glazing	Coating	Muntins	Egress	U-Value	Notes
W100	4'-0"	4'-0"	7'-10"	3'-0"	Sliding		Low-E			-	
W101	4'-0"	4'-0"	7'-10"	3'-0"	Sliding		Low-E			-	
W102	4'-0"	4'-0"	7'-10"	3'-0"	Sliding		Low-E		Yes	-	
W103	4'-0"	4'-0"	7'-10"	3'-0"	Sliding		Low-E		Yes	-	
W104	4'-0"	11'-0"	11'-10"	10'-10"	Fixed	Tempered	Low-E			-	
W105	4'-0"	11'-0"	11'-10"	10'-10"	Fixed	Tempered	Low-E			-	

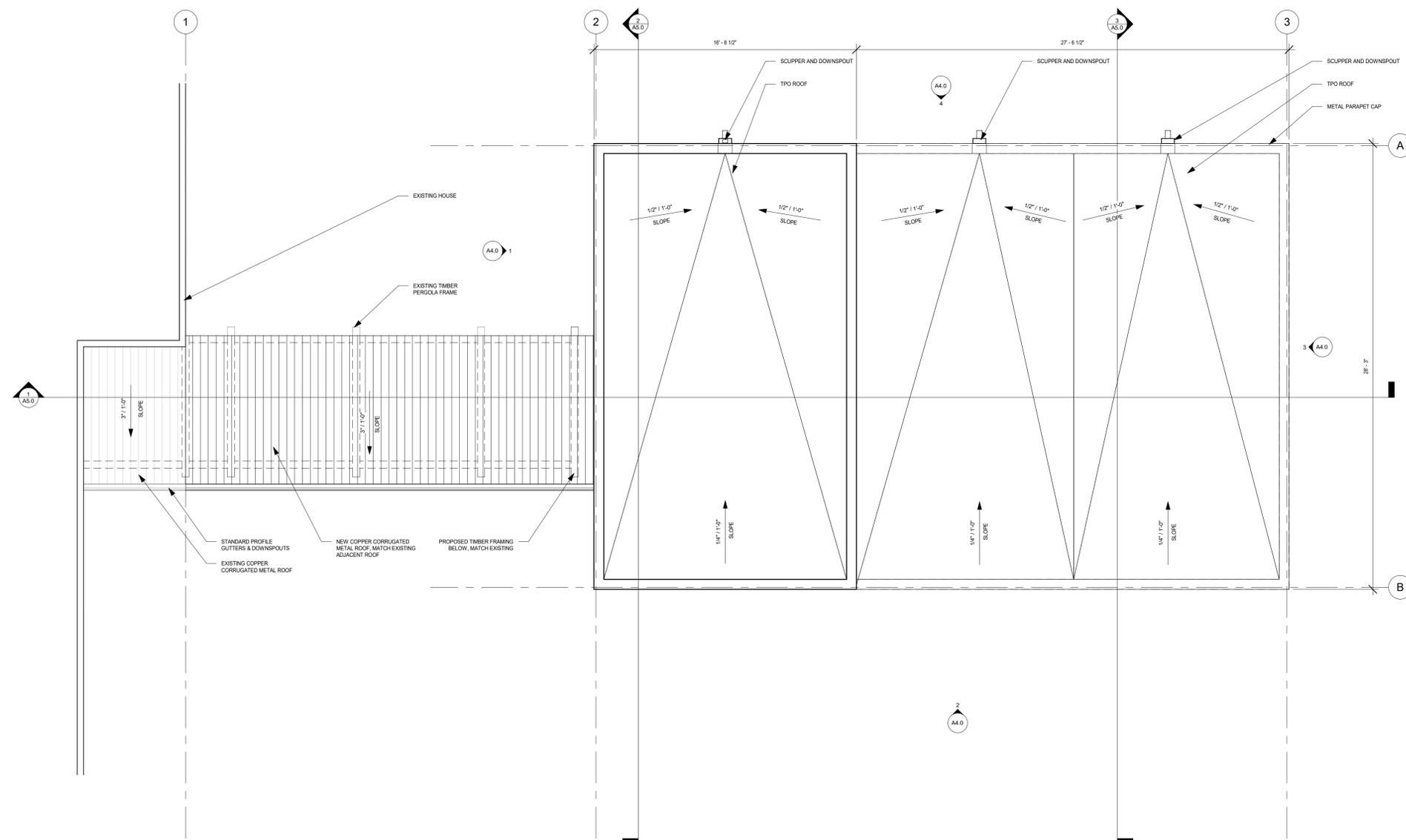
WINDOW MANUFACTURER TO REVIEW ALL WINDOW LOCATIONS AND PROVIDE TEMPERED GLAZING AND CONFIRM EGRESS CLEARANCES WHERE REQUIRED BY CODE.

DOOR SCHEDULE				
Mark	Type	Width	Height	Comments
D100	Single Panel Flush	3'-0"	8'-0"	
D101	Overhead Door	10'-0"	10'-0"	
D102	Overhead Door	10'-0"	8'-0"	
D103	Overhead Door	10'-0"	8'-0"	

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Issue: PERMIT SET
Date: 06/20/2024
Drawn By: ZH
Checked By: PLM
Revisions:
No. Date:

Sheet Title: FLOOR PLAN

A1.0



1 ROOF PLAN
A2.0 1/4" = 1'-0"

ROOF PLAN NOTES:

1. ASPHALT SHINGLE ROOF UNLESS OTHERWISE NOTED.
2. PROVIDE GUTTER AND DOWNSPOUTS AS REQUIRED.
3. ASPHALT SHINGLES ON ROOF SLOPES FROM 2:12 UP TO 4:12 REQUIRE DOUBLE UNDERLAYMENT PER TABLE R905.1.1 (2).
4. AT ALL DOWNSPOUTS, PROVIDE DRAINAGE PATHS AND REQUIRED SLOPES PER R401.3 AND R903.

NEW GARAGE
17022 EAST FREMONT AVENUE
FOXFIELD, COLORADO 80016



Project Number: 2023.027
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Checked By: PLM
Revisions:
No. Date:

Sheet Title: ROOF PLAN

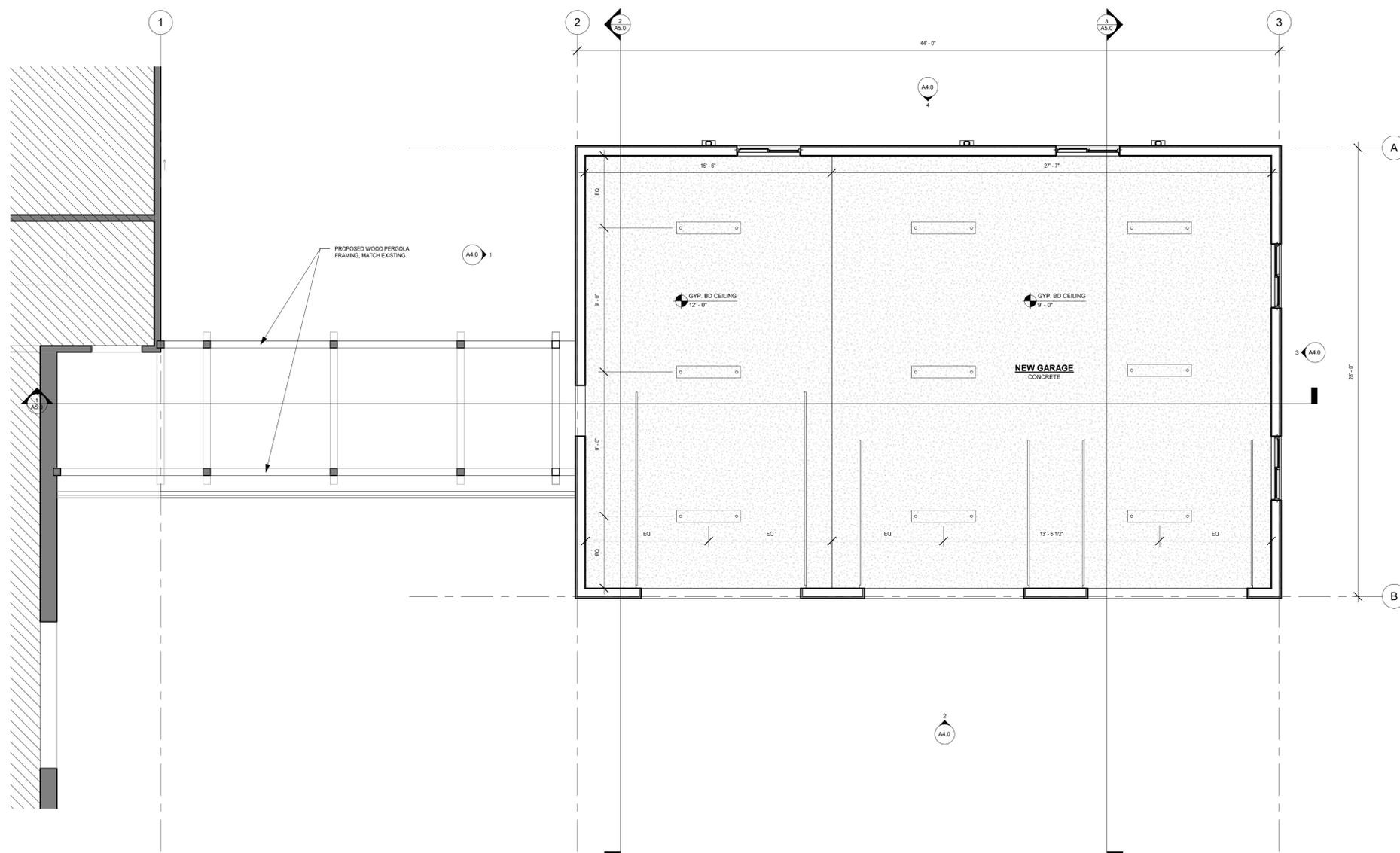
A2.0

NEW GARAGE
17022 EAST FREMONT AVENUE
FOXFIELD, COLORADO 80016



Project Number: 2023.027
Issue: PERMIT SET
Date: 06/20/2024
Drawn By: ZH
Checked By: PLM
Revisions:
No. Date:

Sheet Title:
REFLECTED
CEILING PLAN
A3.0



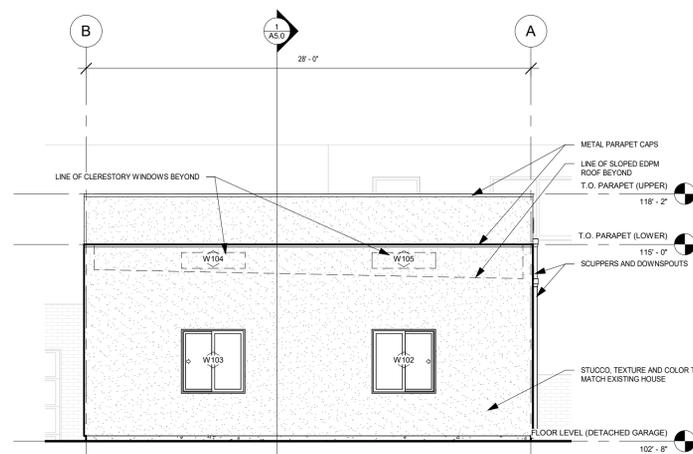
1 REFLECTED CEILING PLAN
A3.0 1/4" = 1'-0"

RCP NOTES:			
	CEILING MOUNTED CAN LIGHT		PENDANT CHANDELER
	WALL SCONCE		CEILING MOUNTED CENTER FIXTURE
	CEILING MOUNTED FLUORESCENT FIXTURE		CEILING MOUNTED TRACK FIXTURE
	EXTERIOR WALL MOUNTED LIGHT		JUNCTION BOX
	WALL MOUNTED LIGHT		ELECTRICAL OUTLET
	CEILING MOUNTED PENDANT LIGHT		CEILING FAN
		1. ALL DIMENSIONS TO FINISH FACE UNLESS OTHERWISE NOTED.	
		2. PROVIDE FANS IN ALL BATHROOMS AND TOILET ROOMS	
		3. 1/2" TYPE "X" NON SAG GYPSUM BOARD AT CEILINGS, WHERE NOTED.	

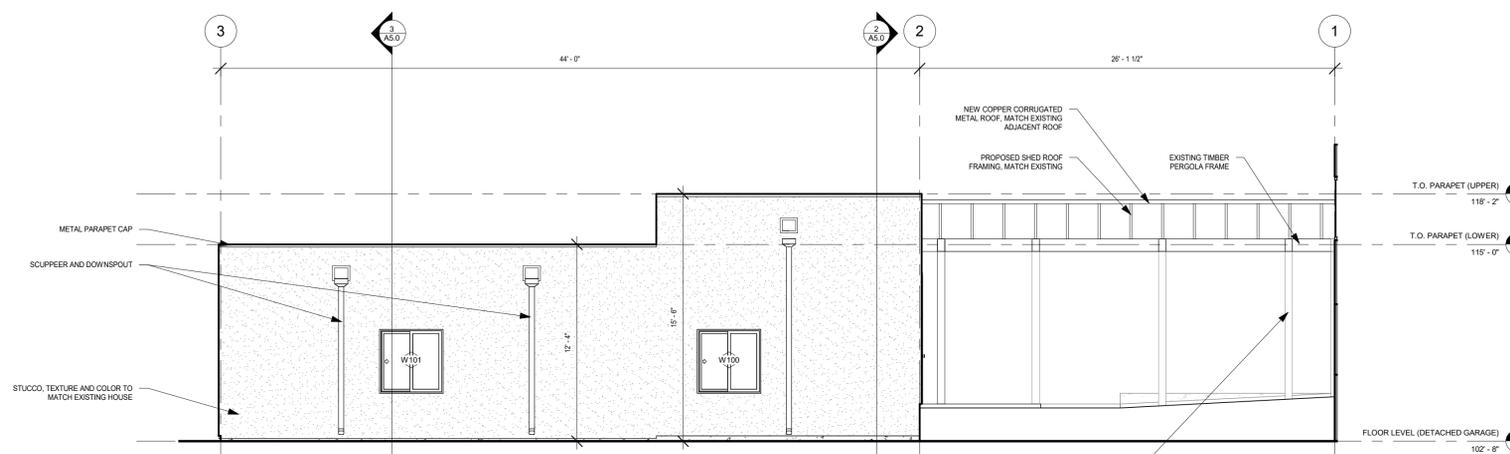


Project Number: 2023.027
Issue: PERMIT SET
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Revisions:
No. Date:

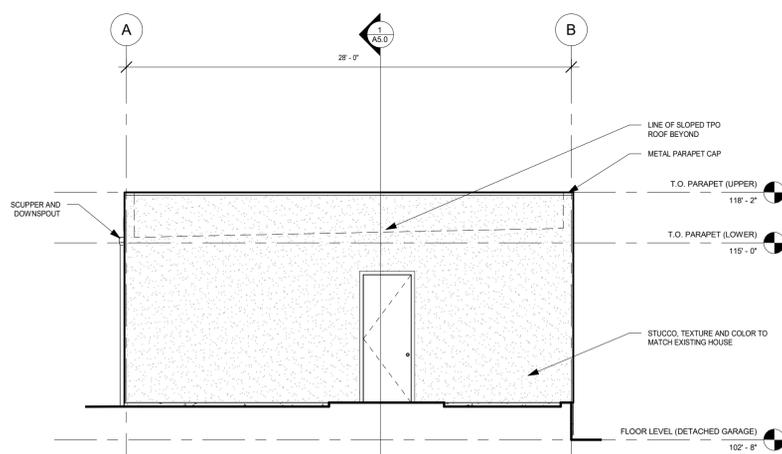
Sheet Title:
EXTERIOR
ELEVATIONS
A4.0



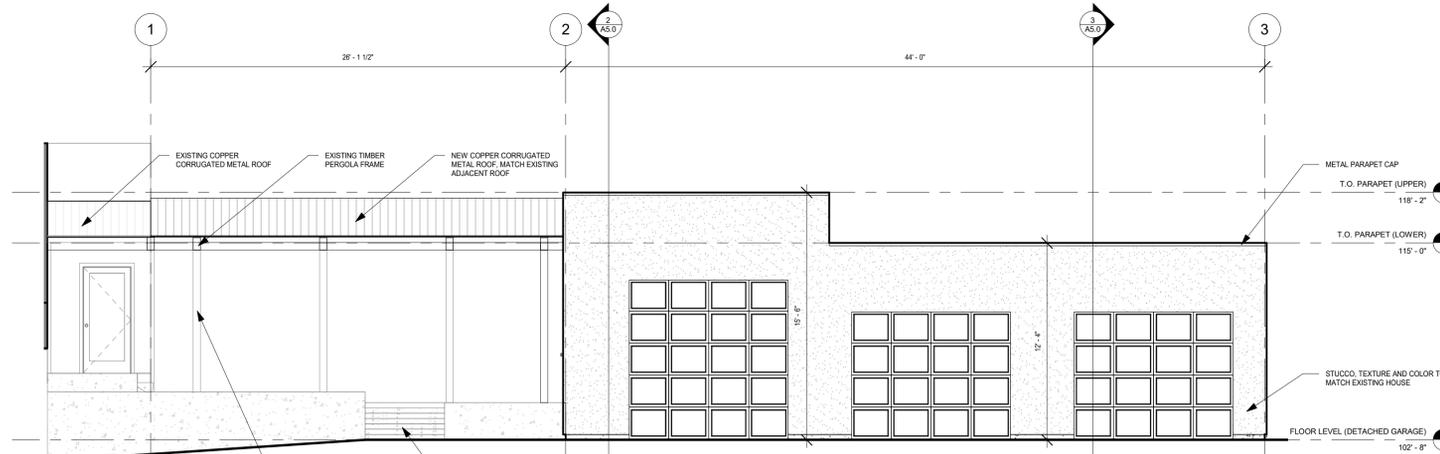
3 WEST EXTERIOR ELEVATION
A4.0 3/16" = 1'-0"



4 SOUTH EXTERIOR ELEVATION
A4.0 3/16" = 1'-0"



1 EAST EXTERIOR ELEVATION
A4.0 3/16" = 1'-0"

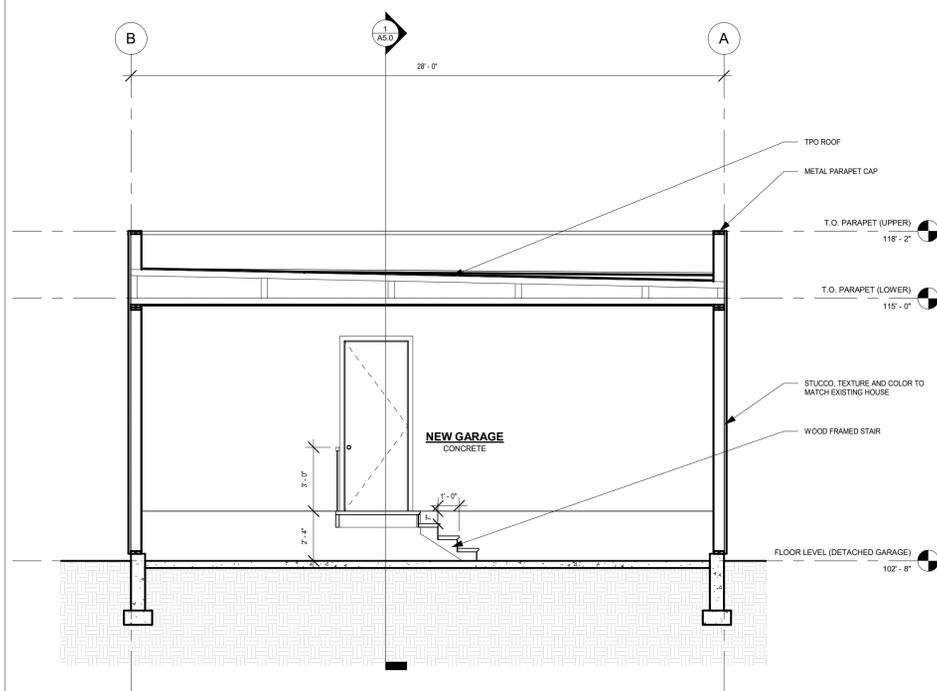


2 NORTH EXTERIOR ELEVATION
A4.0 3/16" = 1'-0"

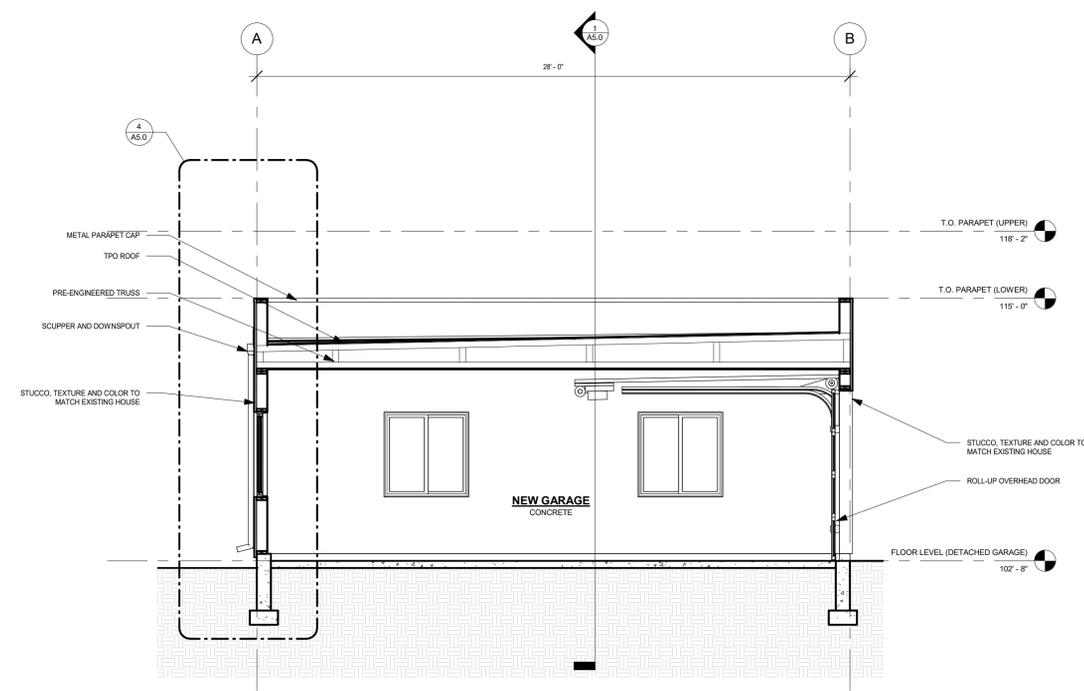
NEW GARAGE
17022 EAST FREMONT AVENUE
FOXFIELD, COLORADO 80016



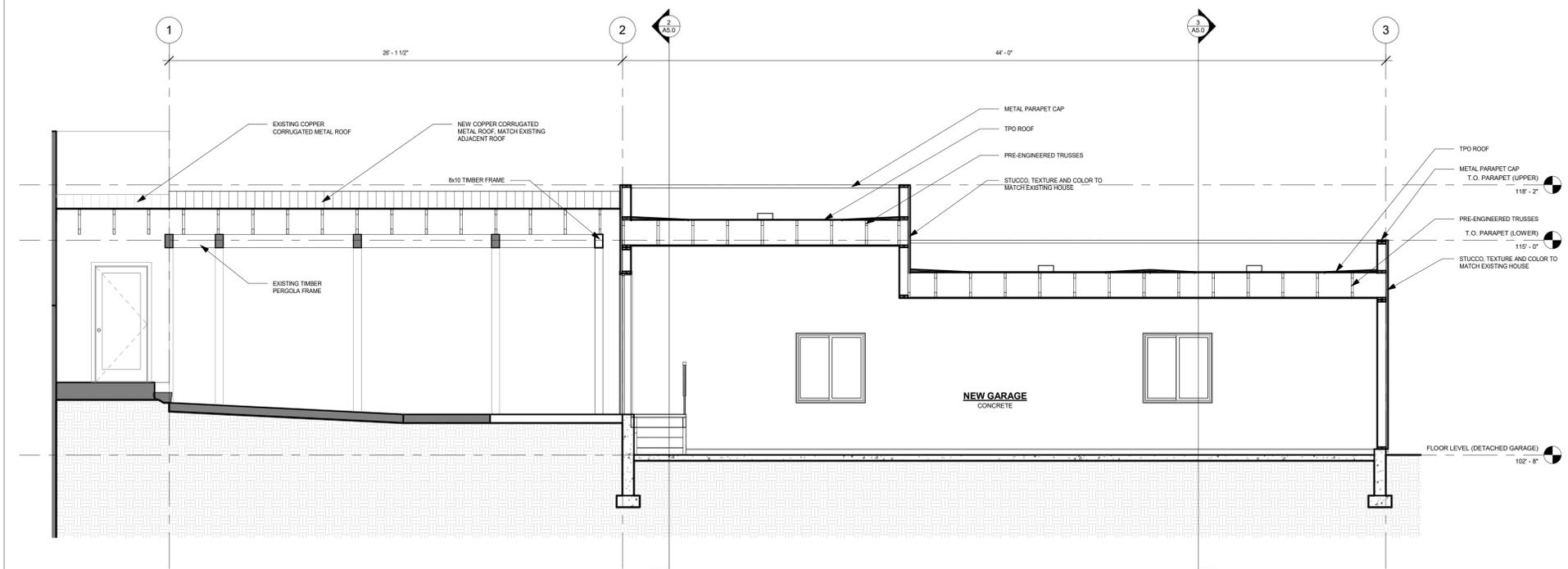
Project Number:	2023.027
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Revisions:	
No.	Date:



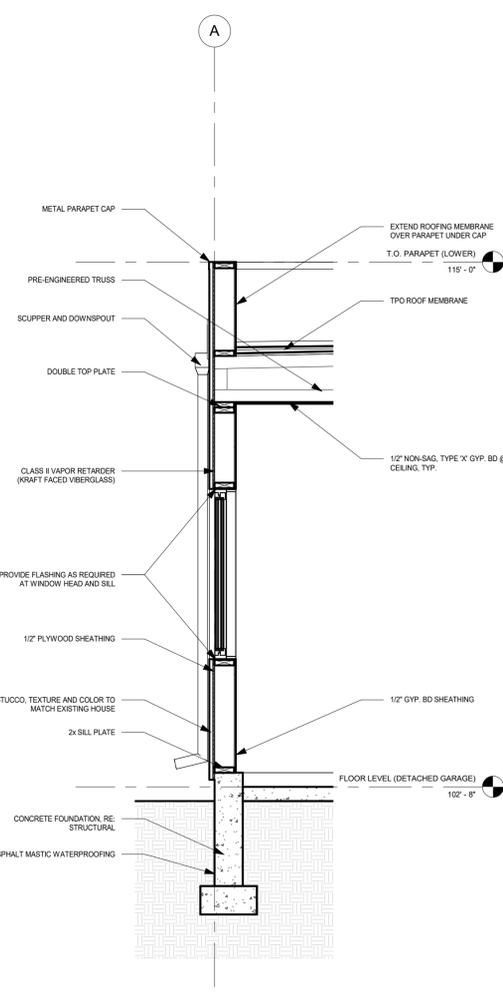
2
AS.0
BUILDING SECTION 2
1/4" = 1'-0"



3
AS.0
BUILDING SECTION 3
1/4" = 1'-0"



1
AS.0
BUILDING SECTION 1
1/4" = 1'-0"



4
AS.0
ENLARGED WALL SECTION
1/2" = 1'-0"



NOTICE OF PUBLIC HEARING.

Notice is hereby given that the Town of Foxfield Board of Adjustment (BOA) shall hold a public hearing concerning a variance request for the property described in Exhibit A, and generally located at 17022 E. Fremont Ave, pursuant to the Town of Foxfield Zoning Regulations.

The public hearing shall be held before the Board of Adjustment on March 20, 2025, at the hour of 6:30 pm, or as soon as possible thereafter as the agenda of the BOA permits, at South Metro Fire Protection District #42, 7320 South Parker Road, Foxfield, Colorado 80066, or at a place otherwise specified by the Town Clerk. Further information is available by calling (303) 680-1544.

ALL INTERESTED PERSONS MAY ATTEND.



MEMORANDUM

TO: Mayor Jones and Members of the Board

FROM: Karen Proctor, Town Administrator

DATE: March 20, 2025

RE: Resolution 2025-02 Directing That Ordinance No. 2023-01 Be Published Consistent with C.R.S. § 31-16-105

DISCUSSION:

In February 2023 the Board approved Ordinance 2023-01 (Exhibit A) that contained more explicit language in the Municipal Code to articulate that short-term rentals were prohibited. Subsection (b)(4) in Section 16-2-50 of the Foxfield Municipal Code was added, in addition to a definition of short-term rentals inserted in Section 16-6-10.

Unfortunately, it was discovered that the notice of Ordinance 2023-01 being passed was never published. Therefore, attached as Exhibit B is Resolution 2025-02 directing the Town Clerk to publish notice that Ordinance 2023-01 was passed.

RECOMMENDED MOTION:

"I move to approve Resolution 2025-02 Directing That Ordinance No 2023-01 Be Published Consistent with C.R.S. § 31-16-105 ."

ATTACHMENT:

Exhibit A: Ordinance 2023-01

Exhibit B: Resolution 2025-02

**A BILL FOR AN ORDINANCE AMENDING THE FOXFIELD MUNICIPAL CODE
TO PROHIBIT SHORT-TERM RENTALS**

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF
FOXFIELD, COLORADO:

Section 1. Section 16-2-50 of the Town of Foxfield Municipal Code is amended by the addition thereto of a new subsection (b)(4) to read as follows:

(4) Prohibited Uses. The use of property in the Large Lot Residential District as a short-term rental is prohibited and no principal permitted uses or special review uses shall be construed as authorizing the use of property as a short-term rental.

Section 2. Section 16-6-10 of the Town of Foxfield Municipal Code is amended by the addition thereto of the following definition to be inserted alphabetically and to read as follows:

Short-term rental. A rental of any dwelling, in whole or in part, to any person(s) for transient use of 30 consecutive days or less.

Section 3. The Town Board of Trustees hereby finds, determines, and declares that this Ordinance is promulgated under the general police powers of the Town of Foxfield, that it is promulgated for the health, safety, and welfare of the public, and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare.

Section 4. If any clause, sentence, paragraph, or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

Section 5. This ordinance shall become effective thirty (30) days after final publication.

Adopted as Ordinance No. 01 Series of 2023, by the Board of Trustees of Foxfield, Colorado, and signed and approved by its Mayor or presiding officers this 2nd day of February, 2023.

Lisa Jones, Mayor

ATTEST:

Kathleen Schmitz, Town Clerk

Town Seal

Corey Y. Hoffmann, Town Attorney
(Approved as to Form)

A RESOLUTION OF THE BOARD OF TRUSTEES OF THE TOWN OF
FOXFIELD DIRECTING THAT ORDINANCE NO. 2023-01 BE PUBLISHED
CONSISTENT WITH C.R.S. § 31-16-105

WHEREAS, the Town of Foxfield Board of Trustees approved Ordinance No. 2023-01 on February 2, 2023, following a duly noticed public hearing, notice of which public hearing was published in *The Villager* on January 12, 2023, as required by the Foxfield Municipal Code;

WHEREAS, Ordinance No. 2023-01 clarified that the Town of Foxfield Municipal Code already prohibited the use of property in the Large Lot Rural Residential District (RR) as a short-term rental, but the Board of Trustees desired to provide more explicit language in its Municipal Code articulating that such uses as a short-term rental were prohibited;

WHEREAS, C.R.S. § 31-16-105 requires that the ordinances of the Town of Foxfield, as a statutory town, not be effective until thirty (30) days after such ordinances have been published in a newspaper of general circulation within the Town;

WHEREAS, the Town has discovered that through a clerical error unrelated to the action of the Board of Trustees, Ordinance No. 2023-01 was never published in a newspaper of general circulation within the Town as required by C.R.S. § 31-16-105, and thus is not yet effective because it was not so published; and

WHEREAS, because Ordinance No. 2023-01 was adopted over two (2) years ago, the Board of Trustees desires to reaffirm that Ordinance No. 2023-01 was duly adopted by the Board of Trustees, and the Board of Trustees desires to therefore direct the current Town Clerk to publish Ordinance No. 2023-01 as required by C.R.S. § 31-16-105.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF FOXFIELD, COLORADO, AS FOLLOWS:

Section 1. The recitals set forth above are incorporated herein by this reference.

Section 2. The Board of Trustees of the Town of Foxfield hereby directs the Town Clerk to publish Ordinance No. 2023-01 in *The Villager* as required by C.R.S. § 31-16-105, thus seeking to make effective Ordinance No. 2023-01 thirty (30) days after such publication as required by law.

PASSED ON FIRST AND FINAL READING THIS _____ day of _____, 2025.

**BOARD OF TRUSTEES,
TOWN OF FOXFIELD, COLORADO**

Lisa Jones, Mayor

ATTEST:

Monica Torres, Town Clerk